

CONROY CROWE KELLY
Architects & Urban Designers

65 MERRION SQUARE
DUBLIN 2

MATERIALITY AND FINISHES REPORT

MOORETOWN, SHD

APRIL 2022

TABLE OF CONTENTS

- 1.0 INTRODUCTION
- 2.0 GENERAL FINISHES
 - 2.1 MAIN STREET
 - 2.2 EAST MOORETOWN
 - 2.3 WEST MOORETOWN
 - 2.4 MATERIALS HOUSES AND DUPLEXES
 - 2.5 MATERIALS APARTMENTS
- 3.0 BALCONIES IN APARTMENTS
- 4.0 LANDSCAPE DESIGN
 - 4.1 OPEN SPACES
 - 4.2 VILLAGE CENTRE
 - 4.3 PODIUM COURTYARDS
 - 4.4 STREETS AND PATHWAYS
- 5.0 SUMMARY AND CONCLUSIONS



1.0 INTRODUCTION

This planning application is made on behalf of Gerard Gannon Properties for a proposed Strategic Housing Development on the townland of Mooretown, Swords. The proposed development will consist of a mixed-use residential neighbourhood of 650 dwellings comprising 265 houses, 113 duplex units, 6 triplex units, 266 apartments, a 519sqm childcare facility and 946sqm of retail and café uses clustered in a small village centre. The development includes all associated site works and infrastructure, including landscaped open space, internal road, paths, cycle paths, public lighting and drainage. The development also includes off-site drainage works for a stormwater storage tank and overflow outfall gravity sewer to the Broadmeadow River on lands at the junction of the Glen Ellan and Balheary roads.

This report specifically addresses the above item 5 in the ABP Opinion relating to the proposed materials and finishes for the buildings included in the planning application documentation:

5. A report that specifically addresses the proposed materials and finishes to the scheme including specific detailing of finishes, the treatment of balconies in the apartment buildings, landscaped areas, pathways, entrances, boundary treatment/s and Village Centre. Particular regard should be had to the requirement to provide high quality and sustainable finishes and details which seek to create a distinctive character for the development. The documents should also have regard to the long-term management and maintenance of the proposed development and a life cycle report for the apartments in accordance with section 6.3 of the Sustainable Urban Housing: Design Standards for New Apartments (2018).

This document sets out the proposed material expression and the detailing of the proposed Strategic Housing Development on the townland of Mooretown, Swords. This document is supplemented by the Building Lifecycle Report appended to the application and Section 6.4 of the Urban Design and Architectural Statement.

This report proposes to demonstrate the proposed materials and finishes to the scheme including specific detailing of finishes, the treatment of balconies in the apartment buildings, landscaped areas, pathways, entrances and boundary treatments.

The architecture and landscape design of the scheme will work together to make a high-quality coherent scheme. Particular attention has been paid to the materials and facade design used in all parts which overlook the open spaces located throughout the scheme. The residential development and landscape areas will be adapted for all ages. Please refer to the separate Architects Report that addresses proposals for external materials and finishes. The Landscape Architects report specifically address public open space and the hard landscaped civic spaces in the Village Centre.

2.0 GENERAL FINISHES

A material palette is shared across the development with brick being the main contributor. It is robust, durable and maintenance free and should weather gracefully over time. Each character area is proposed have its own selected brick, the three distinct character areas are, Main Street (or Village Centre), East Mooretown and West Mooretown.

The concept across the development is that materiality will delicately evolve between each character area. This achieved via specific detailing, scale and the choice of finishes. The evolution of these materials enables distinctiveness, identity, aiding way-finding and a sense of place to the development as a whole. The material palette of brick and painted render have been chosen for their durability, low maintenance requirements and long-life span. The extent of brick and render are indicated on the drawings of both individual building types and composite elevations. In general terms, the houses and duplex buildings have a mixture of brick and render finishes, while apartment blocks have a greater extent of brick, with elevations to the public realm often almost entirely in brick.

2.1 Main Street (or Village Centre)

This is a very urban residential cell to the north and south of the Main Street spine road. The focal point of this character area is the secondary school campus and the mixed-use village centre, which comprises twin landmark buildings and two civic squares, joined by a generous landscape path to the front of the blocks and visually connected via the glazed ground floor of the cafe unit that sits between them. The Main Street character area comprises 205 dwellings, a creche, 946 sqm of shop and cafe uses and the existing school campus, with apartment blocks and own-door duplex units being the most common building type.

Along the northern side of Main Street, the larger 4/5 storey blocks are all composed to compliment the contemporary architecture principles of proportion, scale and materiality. Brick being the predominate material, these being selected as a buff / red colour and complimented by zinc cladding to the set back penthouse levels. On Blocks C and D which face the civic squares, commercial ground floors are detailed with a distinct grey brick surrounds with dark grey aluminium glazed shop/café frontages and dark metal or tiled roofs.

As this is a public realm area, the blocks will all be finished to a high standard of materials suitable for the context/location of the scheme. The balconies will use steel bar or glass guarding and handrails. PVC / Aluminium windows and zinc cladding, flat roofs will be covered in a TPO or similar roofing membrane with a maintenance guarantee of 25-30 years

Blocks A and B also have of a covered podium carpark, with a landscaped green roof / podium level connecting with the main body of the block at first floor level for the enjoyment of the residents. The southern side of Main Street comprises of long terraces of 3-storey duplex units and 3-storey houses which have façades of brick / render with pitches roofs covered in clay tiles. These also have brick details unique to the character area, including stepped brick coursing detail along the street facades (images 6,7&8). Also hit and miss sections of brickwork to ground floor ends of duplexes.

A 2-storey creche with a L-shaped plan and strong roof form is located on a bend in the road which will also follow the same materiality palette as the other buildings along the Main Street to form a continuous thread of high-quality architecture.



Image 1. Elevation showing the northern side of Main St and Blocks B, C & D.

2.2 East Mooretown

East Mooretown is a mid-density character area with a large public park in the southeast corner. The remains of a ringfort were discovered and are proposed to be retained in-situ as part of a large public park. The Character Area comprises 192 dwellings and is broadly a 3-way split of houses, duplex units and apartments.

The apartment and duplex blocks are 3/5 storeys, they all correspond with a coherent architectural language created across the Mooretown scheme via the use of repeating elements (materials, window types, balcony treatments, etc.). The elevations are all composed to compliment the contemporary architecture principles of proportion, scale and materiality. As with the Main Street character area, the proposed blocks will be finished to a high standard of materials suitable for the context/location of the scheme. The brick all being a buff / yellow-coloured bricks, render and dark metal / zinc cladding to the penthouse level. The balconies will use glass and steel bar guarding and handrails..

The 2 storey terraces are designed with a simple robust detailing and a limited material palette. This comprises of yellow brick with simple rendered panels, these have pitched roofs with dark clay roof tiles and are arranged in a consistent composition and rhythm throughout, resulting in a series of well-considered well-mannered elevations across the character area. Bee bricks are also proposed to south facing facades near suitable flowering plants

2.3 West Mooretown

West Mooretown is a mid-density character area with a large 'Central Park' in the centre and considerable frontage to the Nature Park in the west and south. West Mooretown comprises 253 dwellings, and the predominant building type is a private house, making up c two thirds of the character area.

The WDLR is fronted by terraces of 3-storey duplex blocks and 3-storey terraced private houses, which continue in a straight and orderly manner following the RA zoning line. Duplex Block N is a small pavilion block located at the first access point from the WDLR and a minor landmark at the intersection of the WDLR and Road 10.

As buildings in this area are predominately 2 storey houses with some 3/4 storey multi-unit dwellings. The buildings are designed with a simple limited material palette of yellow brick, rendered panels and pitched roofs arranged in a consistent composition and rhythm throughout, resulting in a series of considered well-mannered elevations. Bee bricks are also proposed to south facing facades near suitable flowering plants.

The buildings have been designed to recognise their immediate context and to adhere to the principles of rhythm, tone and materials in a manner which the character area is identifiable.



Image 2. Elevation showing the lower scale central section of East Mooretown with 2 and 3 storey terraces.

2.4 Materials Houses and Duplexes



Image 3. Duplex Block D Elevations.

The proposed Duplex units are all three-storey volumes, finished with brickwork and pre-coloured render. Brick being used to the lower and in panels under windows. The material combination of brickwork, and metal cladding canopy cover at entrances, offers a distinctive aesthetic for these units. Balconies and guarding to the rear being in a powder coated metal finish for robust finish and low maintenance. Roofs with dark grey concrete tiles. Areas of render is paired with the primary brick material to give variation and modulation to public realm, streetscape and communal area facades. White/Chalk colour render is primarily use along with particular areas of grey coloured render to accent particular areas of the facades – generally in areas between massing of different brick and lighter colour render materials. Render is used to the rear of the individual house to their non-public rear garden facades.

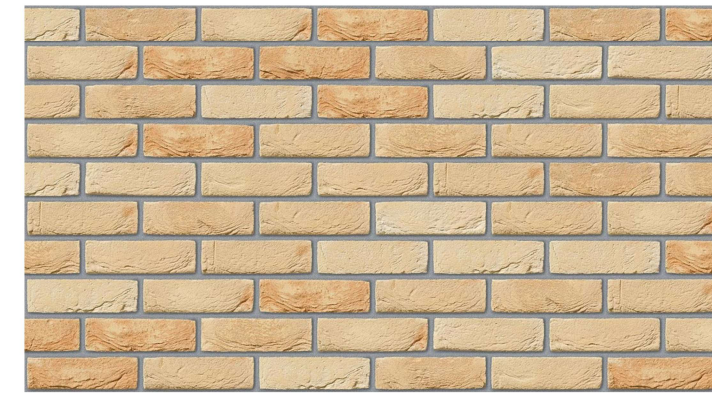


Image 4. Brick and Render palettes to houses and duplexes.

Bee brick detail to houses.

Bee bricks and blocks will be provided selected houses and duplexes as alternative nesting spaces for solitary bee species such as red mason and leafcutter bees (which are non-aggressive). They will be installed up to 1m high on sunny south facing walls where pollinator-friendly plants such as lavender, honeysuckle, etc. will be planted nearby. Without a food source it is unlikely that the bee bricks will be used, so location is key.



Image 4. Bee bricks fitted to houses and duplexes.

Hit and miss details to gable ends of duplexes.

The end-of-terrace duplex in the Main Street character area tend to have their entrance on the gables, providing variation in corner treatments throughout the overall site, and providing activity and passive surveillance on both sides. These have hit and miss brick features to the ground floor level.

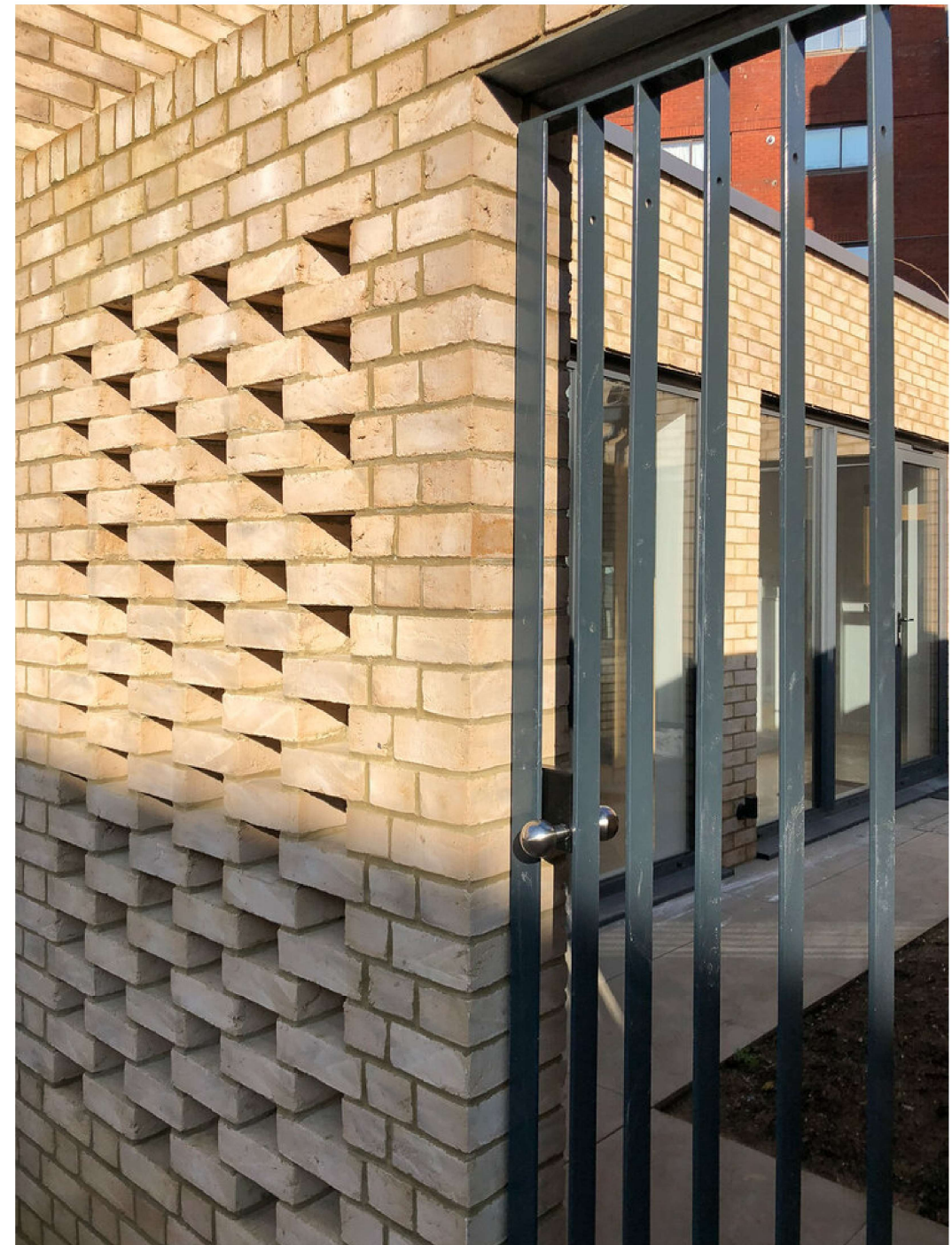


Image 5. Hit and miss brickwork details.

Set back brick detail to the buildings Southern Side of Main St.

Two types of brick are used, predominantly a rich buff with lighter “gault” bricks where the blocks are set back at higher levels to provide a linear bands to the elevation.



Image 6. Elevation showing the setback horizontal brick detail to the Southern Side of Main St.

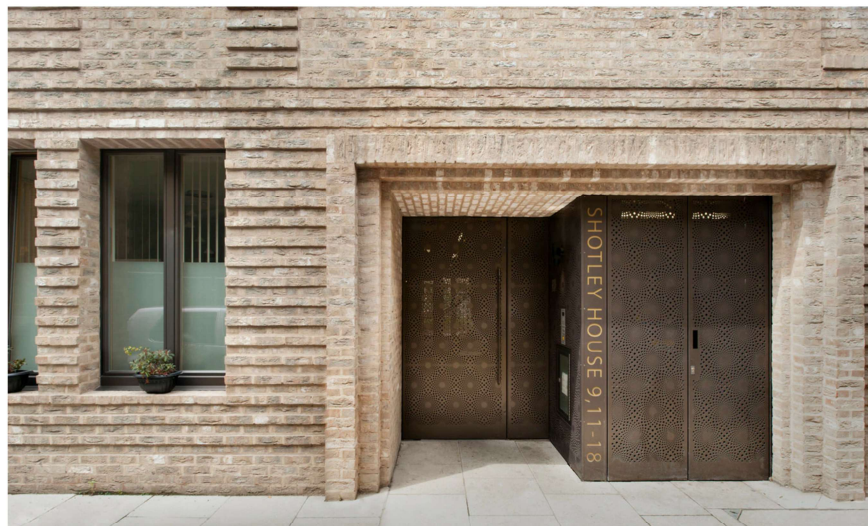
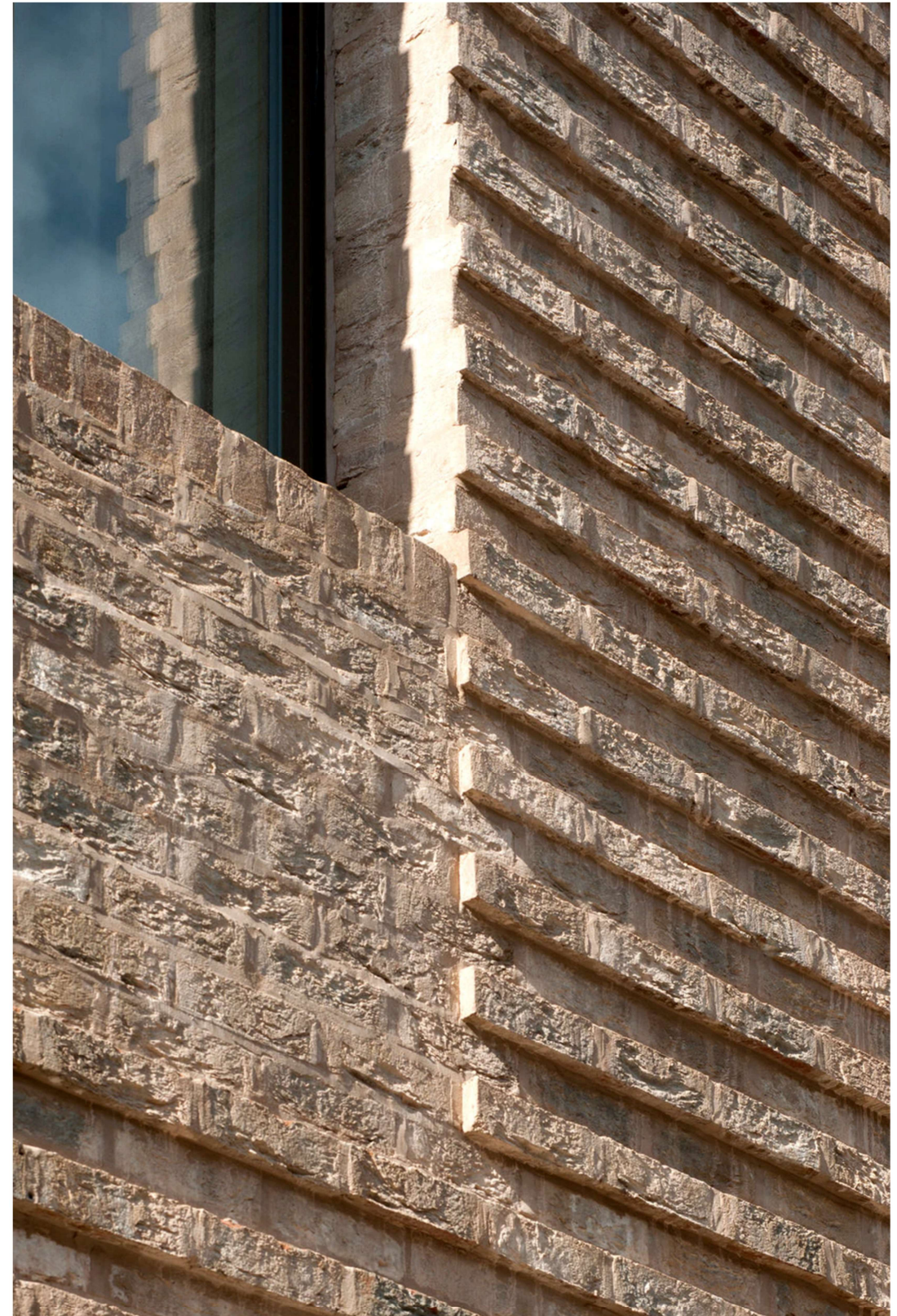


Image 7 & 8. Precedent images of brick banding.



2.5 Materials Apartments



Image 9. Elevation block D at the Civic Plaza on the Main Street red and charcoal bricks with dark metal balustrades to balconies.

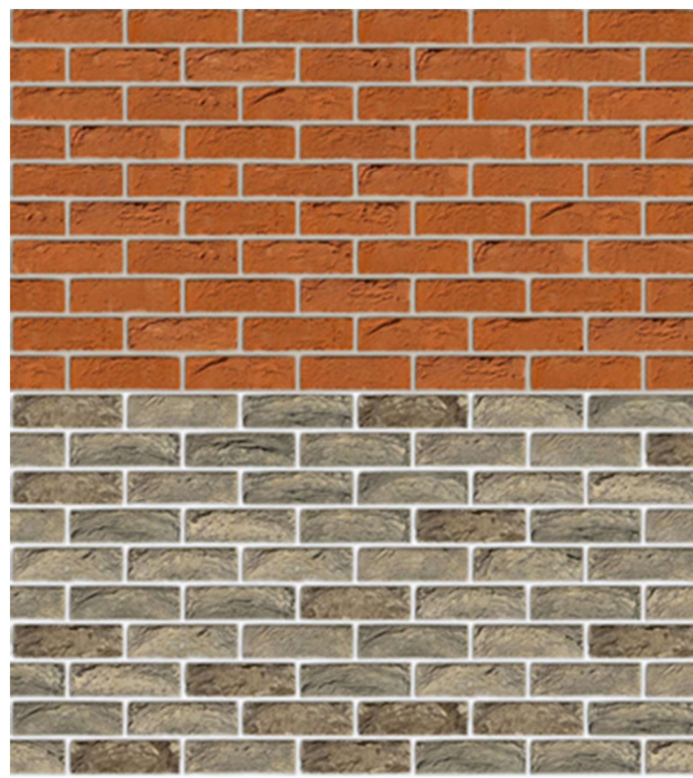


Image 10. Elevation showing the contrasting palette of brickwork

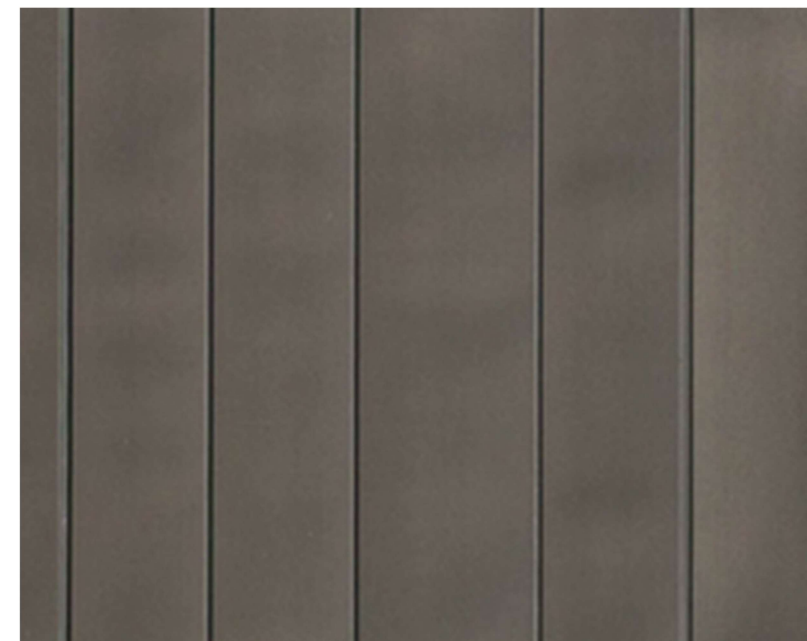


Image 11. Dark metal cladding to surface of pitched roof.



Image 12. Elevation showing Block A at the Main Street, buff two tone brickwork with zinc cladding to the penthouse level.



Image 13. Two tones of brickwork at ground & first floor level

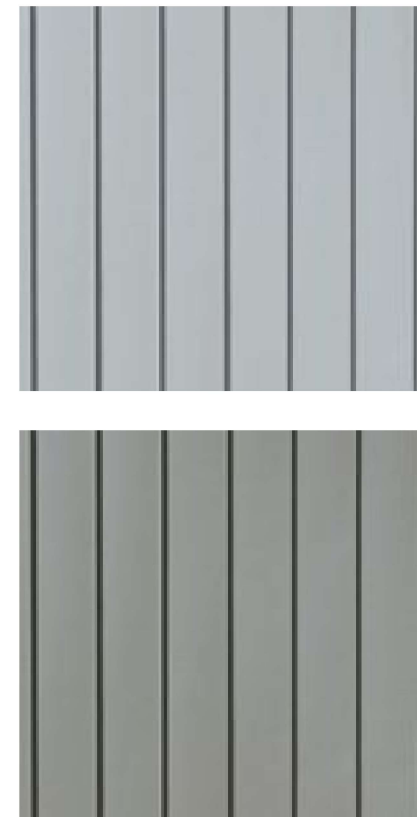
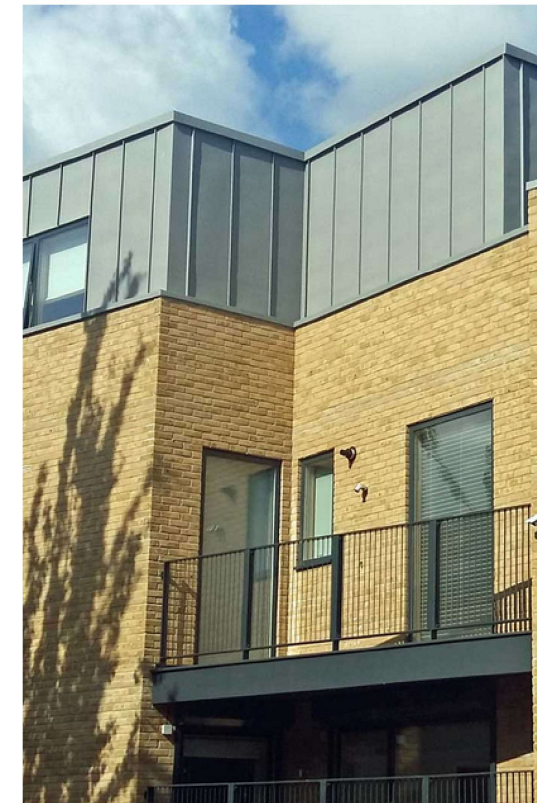


Image 14. Zinc cladding to the penthouse floor.





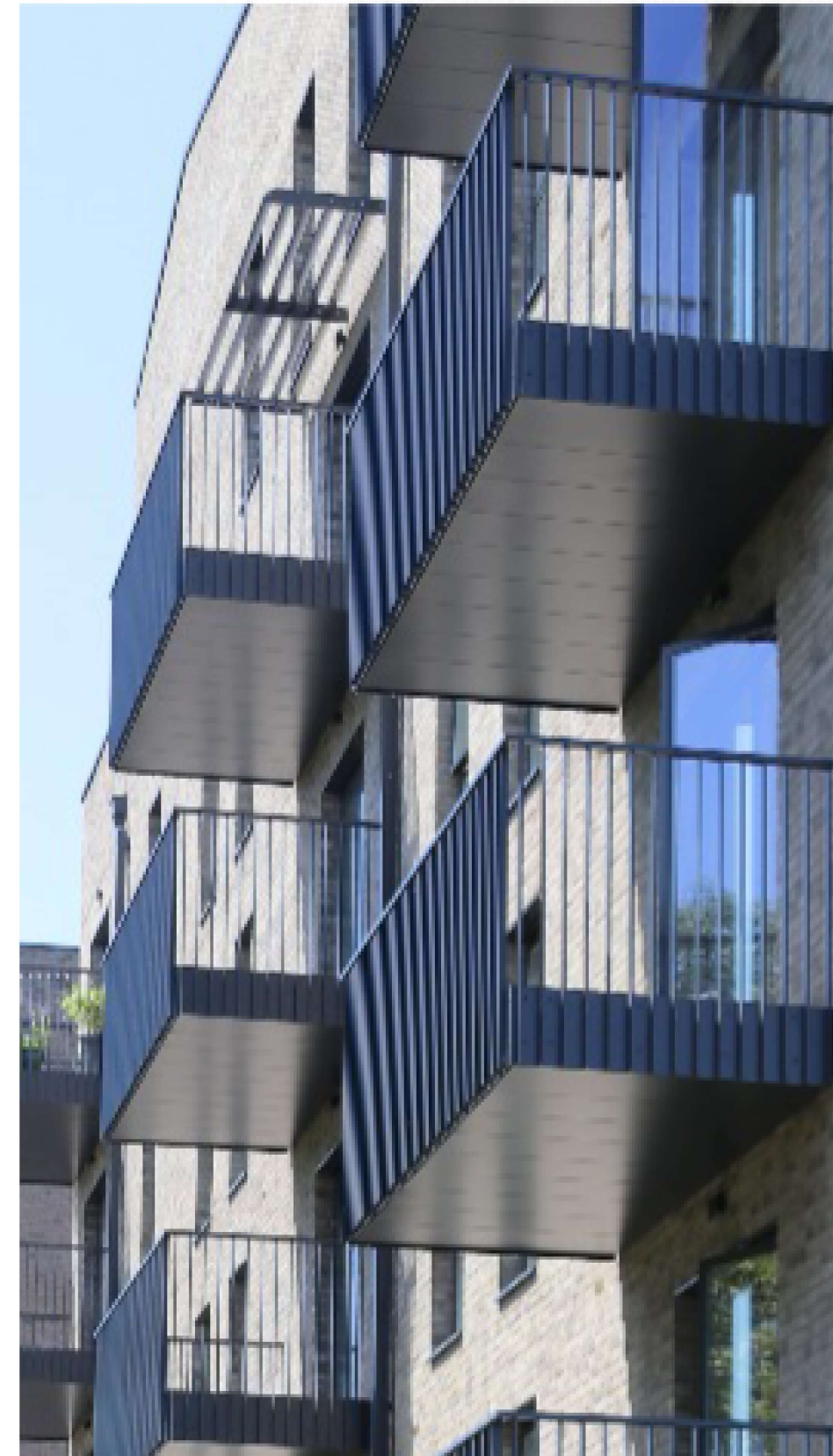
Images 14,15&16 High quality precedent illustrate modern well finished and attractive buildings in brickwork.

3.0 BALCONIES IN APARTMENTS

The development proposes both glass and metal balconies, these are generally semi-recessed to allow shelter, privacy and to allow them to be used all year round.

Glass balconies are used on the larger apartment buildings to maximize daylight into the units, the guarding glass will be provided as toughened glass and opaque glass will provide privacy and prevent residents using unsightly ad-hoc screening details.

Where metal railings are provided, they will be steel square vertical bars, robust, powder coated in dark metal.



Images 17,18,19. High quality precedent illustrate modern well finished glass and metal balconies.

4.0 LANDSCAPE DESIGN

A comprehensive landscape plan has been designed for the public realm by Landscape Consultants Doyle O'Troithigh. The landscaped public open spaces, streetscapes, communal areas will incorporate a combination of quality hard landscaping, dense planting, specimen trees, seating, lighting and play areas. The landscape concept for the development will be a coherent, robust, long lasting and inspiring design solution. Taking a 'site specific' approach the intention is to create an innovative and creative solution that is appropriate for the environment and caters for the needs of all the end users equally. **Please refer to the Landscape Design Report for further detail on the landscape related elements per ABP opinion no. 5. Also drawing no.'s LP-01-PP to LP-09-PP inclusive, BP-01-PP to BP-04-PP inclusive, BD-01-PP, LD-01-PP to LD-04-PP inclusive, PG-01-PP to PG-04-PP inclusive and PP-01-PP detailed information.**

The landscape scheme includes the following key spaces and features:

- a central overlooked neighbourhood park with appropriate play facilities
- an open greenspace which sensitively responds and interprets the medieval subterranean ringfort;
- a sports focussed western park responding to envisaged desire lines and permeability.
- Well sited local pocket parks with good aspect and amenity features.
- a south facing civic square with a pedestrian focussed zone for school drop off/collection.
- Communal courtyards in association with apartments and duplexes to offer local, considered and appropriate amenity;
- Above podium courtyards associated with apartment blocks (A and B)

The design and layout of the public realm is essential in the creation of an appealing built environment for the scheme. It will offer unique character areas and sense of place with the use of a comprehensive set of cohesive and complimentary external hard and soft landscape finishes.

4.1 OPEN SPACES

The Open Space has been designed to provide a diverse high quality public realm with opportunities for moving, socialising and spending time outdoors in an inclusive and overlooked space. The spaces have been developed to provide a distinctive setting which will appeal to all ages. The location and positioning of all open spaces have been considered in detail as part design development stage in terms of proximity to the surrounding houses as being positioned to provide passive surveillance, visual relief and a quality aspect. All the landscape finishing requirements have been addressed and fully referenced in each of the key open spaces.



Image 20. Location of the Open Spaces within the scheme.



Image 21. East Mooretown and view from the playground + nature trail.

Central Park’ – the heart of the scheme

The ‘Central Open Space’ includes considered and potential desire lines throughout as well open grass areas which will provide multifunctional spaces for play, gathering and kick-about. These looping pathways will offer opportunities for younger age groups to learn to cycle in the safety of a secure environment; as well as a comfortable space for a range of users with safe and inviting rest stops with good aspect.

The space also proposes formal play in two distinct zones for a range of users, as well as a general fitness point for all age groups. Tree planting has been considered to support a biodiverse flora and species mix with seasonal interest and appeal. Refer to supporting planting strategy drawing (drawing reference LP-01-PP) The tree planting proposed is of the clear stemmed variety to ensure inter-visibility throughout the open space. There are opportunities within this space to establish a reduced mowing regime which can boost wildlife, increase pollinators and generally reduce maintenance costs.

Ringfort Park’ and Nature Walk Trail

The ‘Ringfort Park’ has developed and evolved following the identification of a medieval ringfort to the south-east of the scheme. It is proposed that the ringfort area is retained and protected with the adequate buffer requirements. The core exclusion area features a grassed biodiverse meadow area in a circular arrangement along with spring bulbs to echo the arrangement of the former ringfort. The landscape approach has been sensitive and respectful to the cultural remains whilst offering a visual appealing and relaxed space for future users. It is envisaged that the space can change and alter with the seasons as well as adopting grass cutting regimes which can form mown paths through the long grass to add interest, appeal and respond to natural desire lines. Beyond the buffer line, a formal arrangement a single tree species is proposed around the ring fort feature. This again aims to reinforce and highlight the subterranean cultural remains. At detailed design stage it is envisaged that appropriate root barrier will be installed to ensure there would be no negative impact on the cultural remains. The ringfort zone shall receive a full circular pedestrian route which shall link outwards to the remainder of the pocket park, amenity features and outwards to the adjoining streetscape and associated built development. The path links provide opportunity for walking/jogging trails as well as learning to cycle, along with appropriate rest stops and seating; refer to drawing no. LD-02-PP (detail 5) for further detail.

Formal and informal play has been also proposed within this space which shall cater for a range of users. A stationary callisthenic unit is proposed to encourage and facilitate this natural form of exercise within the landscape setting to offer opportunity for cardio and strength in equal measure. This sporting feature naturally works well with the walking/trim trail route which extends outwards beyond the open green.

Finally, this space is edged to the south and east by existing hedgerows which shall be retained, augmented and infilled as necessary. This hedgerow shall also receive an herb layer arrangement within 2-3metres of its base towards the centre of the open space. Refer to landscape strategy drawing (PP-01-PP) for species reference, which will be managed to benefit biodiversity, whether it be for plants, bees and other insects’ dependant on nectar or pollen, or farmland birds.

Western Park

As part of the engagement process with both Fingal County Council and An Bord Pleanala to date, a redesign of the western park was requested in order to adequately link and provide an organic and responsive edge to the proposed built development, engage and buffer with the permitted Western Distributor Road, address desire lines and linkages with Abbeyvale and maximise amenity at this location to ensure that adequate play provision is put forward.

The following alterations are proposed:

- New and improved pathway (and cycle) network responsive to built environment, permitted Western Distributor Road, adjoining establish residence of Abbeyvale and integration with proposed amenity.
- Inclusion of a Multi-Use Games Area (MUGA) with cross play as requested by FCC
- Parks Department as part of engagement process.
- Inclusion of formal and informal play zones.
- Organic ‘elements’ in the landscape in the form of planting, gentle grass mounding to merge with the built edge.
- Incorporation of callisthenic unit and stationary exercise elements to promote cardio and strength based activity.
- Focussed mature planted edge to offer screening and framing views to and from the permitted Western Distributor Road.
- Incidental play in the form of balance beams set in the local landscape along with a table tennis unit off set from the pathway network.
- Appropriate seating and rest stops forming part of the pathway network.

To fully address landscape related items as raised in An Bord Pleanala opinion no. 5 the following drawings (plan and details should be referenced): LP-01-PP to LP-09-PP inclusive, BP-01-PP to BP- 04-PP inclusive, BD-01-PP, LD-01-PP to LD-04-PP inclusive, PG-01-PP to PG-04-PP inclusive and PP-01-PP.

4.2 Village Centre

A south-facing amenity space is located to the east of Apartment Block D and immediately adjacent of the entrance to the Swords Community College. This space offers users opportunity to 'stay and rest' in association with school collection/drop off and utilising nearby proposed café facilities.

The space shall include raised planters with formalised ornamental plant species including a series of pollinators, which shall also include bench seating and underfoot this space shall be finished in part with resin bound material to allow for a quality finish to this space. To the north of this arrangement, a retaining wall will be required in part to address the existing change in level. Aluminium and powder coated planters, with coloured arrangement, shall be adopted for this space and will break up and provide interest to the paved arrangement which shall largely be in the order of contrasting concrete based paving units, with a focus area to the east of apartment Block D incorporating natural paving.

Formal fastigate street trees shall be planted along the Main Street in combination with the existing two-way cycle path arrangement which will further demarcate and rationalise this circulation route.

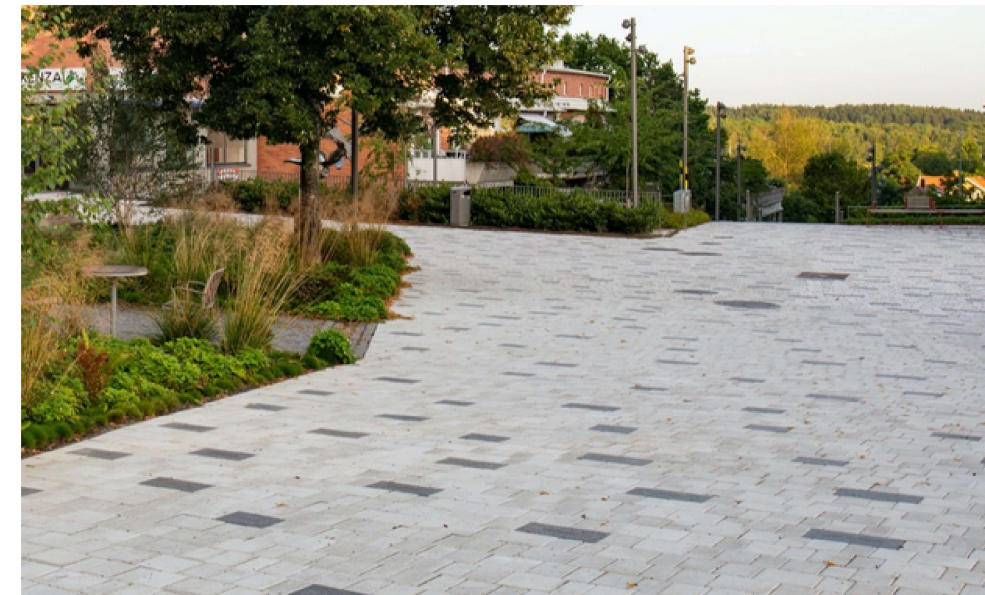


Image23. Example of a concrete feature paving to Civic Square.

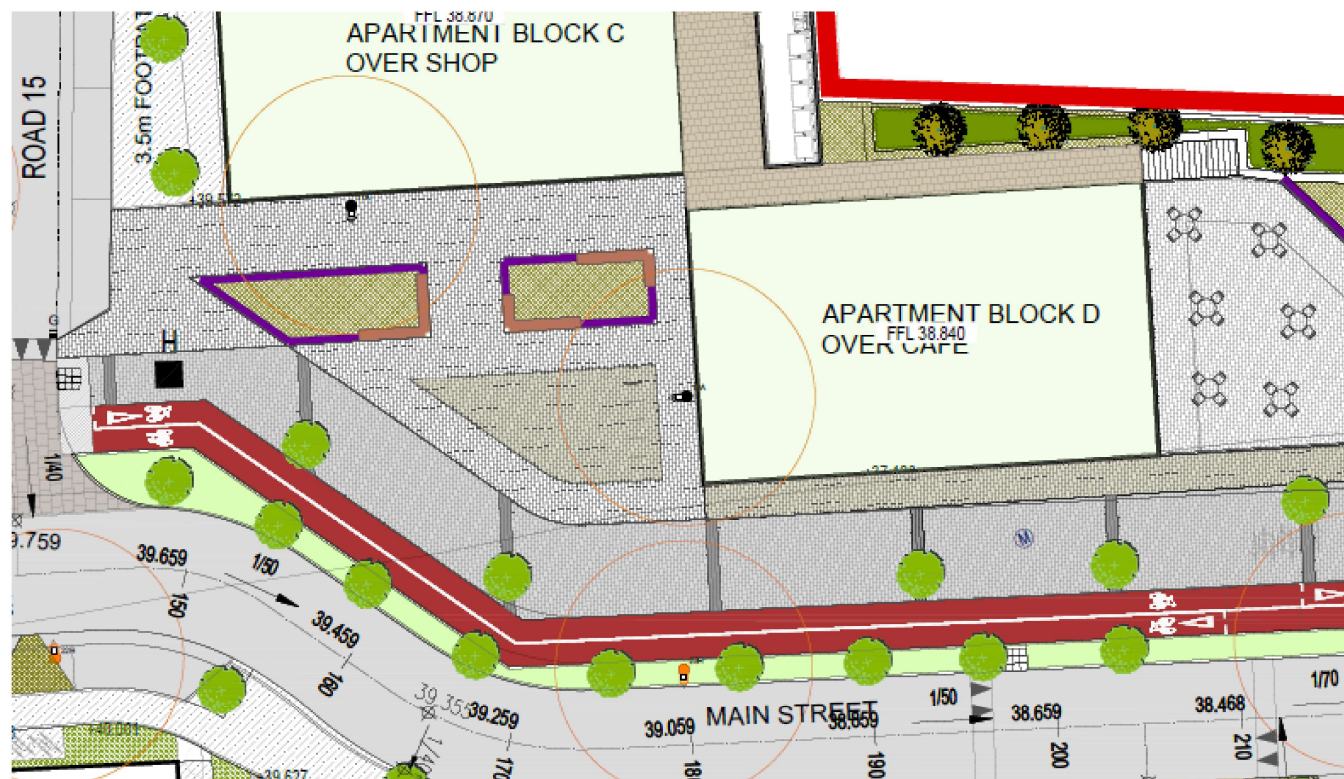


Image 22. Hardscaped village centre civic square.



Image 24. Example of raised planters to Civic Square.

4.3 Podium Courtyards (Apartment Block A & B)

Both above podium courtyards, shall offer visual and active amenity. The hardscape finishes, of the concrete paving, resin and wetpour arrangement proposed shall receive adequate softening with planters, grassing and ornamental planting.

Play elements shall be incorporated within this zone to ensure small children and their minders are catered for in terms of provision of communal amenity spaces and play facilities in line with the Sustainable Urban Housing: Design Standards for New Apartments (2020). Other play elements including table tennis units, ground chess and chess games tables are included to cater for a range of ages and users.

The spaces shall incorporate a range of seating with good aspect and buffer planting shall be incorporating along 'living' edge of the apartments whilst still offering overlooking to allow for passive surveillance.



Image 25. Example of play spaces on the podium.



Image 26. Example of podium finish with planting and seating.

4.4 Streets and Pathways.

For detail and finish of streets and pathways, refer to enclosed (drawing reference PP-01-PP) for further detailed references. The proposed road finish is either a bitmac road surface to Engineers or Duracolour Beige SMA 10 surf Mex C; suited to vehicular traffic situations, in Homezone areas. Pathways are to be either a brushed concrete or block paving / Ballylusk bound gravel to public open spaces. Proposed Tiger mulch is proposed to the surface to play areas.

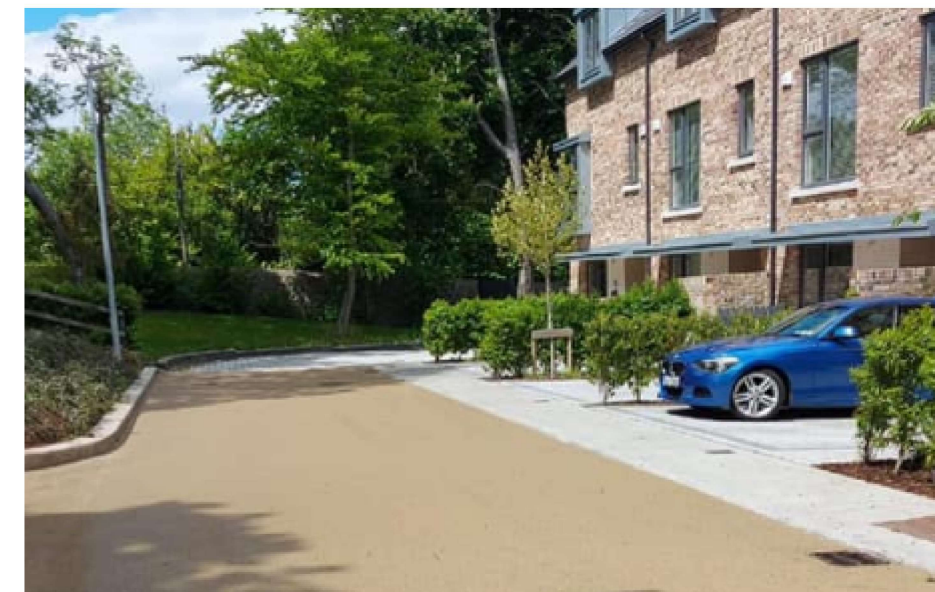


Image 27. Example of duracolour beige surface finish to Homezones.



Image 28. Example of bitmac road finish.



Image 29. Example of Ballylusk Bound gravel.



Image 30. Example of Tiger Mulch.

4.5 Boundary Treatments

For details of the boundary treatments, refer to enclosed (drawing reference PP-01-PP) and Landscape Report. Full Boundary details for the proposed wall and railing are further detailed in drawings BP-01-PP, BP-02-PP, BP-03-PP & BP-04-PP.

Generally, boundary treatments are as follows:

To the rear of houses 2m high concrete post and timber hit and miss panel fences are proposed - (See Detail 01 on Dwg BD-01-PP).

To the public facing rear or sides of houses a 2m high wall, rendered blockwork finish to public side. Top of wall finished with a brick header course detail; fair faced blockwork to private side. Brick to match that used on the houses. (See Detail 02 Dwg BD-01-PP).

Estate fencing 1100mm are proposed generally as a boundaries to the front of houses and apartments (See Detail 03 on Dwg BD-01-PP). Hedges 1100mm deep will also be used in ground floor apartment patios for extra screening.

To the public road, a 1.6M high buff top railing (See Detail 05 on Dwg BD-01-PP) is proposed to the west of the site to the proposed extension this sits against the public open space and nature park.

To the south and east boundaries existing hedges are to be retained or infilled as necessary with similar species where possible; see drawing PP-01-PP for Planting Strategy & LD-01-PP for details.



Image 31. Example of estate fencing.



Image 32. Example of bow top fencing.

5.0 SUMMARY AND CONCLUSION

The proposed material and finishes to the scheme will be of the highest quality. Care has been taken for the design of the private and public realm to ensure high quality and sustainable finishes and details which will create a distinctive character for the development. The proposed development will form a sustainable design solution for this site.

Achieving design quality is key to ensuring this residential development provides both durability and performance throughout the duration of its life. The quality of the private and public realm of this development is key to having a successful neighbourhood. High quality design and a clear green infrastructure will be applied to all perimeters of the proposed building, with particular attention to the materials and facade design used in all parts which overlook the street frontages and public realm.

The detailing and specification for materials and finishes has taken into account the micro-climate of sunlight, daylight, wind to ensure a design solution that is robust, fit-for-purpose and will be of the highest quality over its design life.

This development has been designed in order to ensure that robust and long life materials and products with low maintenance are selected as much as possible. Material selection has gone through a selection process to ensure the proposed materials will meet the highest lifecycle value. Equally the sustainability credentials of the selected materials has been reviewed thoroughly to ensure optimum design solutions.

The use of robust high quality landscaping materials for this site is intended to provide materials that reduce the need for ongoing maintenance costs. Materials have been selected based on the value they bring in terms of low maintenance and easy cleaning and their aesthetic value.

The chosen cladding materials will be robust and good detailing shall ensure minimal staining on facades. Hard-wearing internal finishes are selected to ensure the buildings remain robust. Resilient materials have been selected for balconies, paving areas and for all external accessible areas. The selection of external materials will minimise maintenance as all materials are self-finished, robust and long lasting.